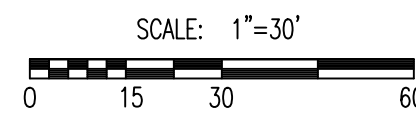


**LEGEND OF SYMBOLS:**

	EXISTING CONCRETE		NEW HEAVY DUTY CONCRETE
	EXISTING HIGHWAY		NEW CONCRETE SIDEWALK AND NEW LIGHT DUTY CONCRETE
	NEW HEAVY DUTY ASPHALT PAVEMENT		NEW LIGHT DUTY ASPHALT PAVEMENT
	ALTERNATE #1-CONCRETE		ALTERNATE #1-CONCRETE



SITE INFORMATION	
SITE ACERAGE	5.18 AC.
CURRENT OWNER	SCHNUCK MARKETS INC
EXISTING ZONING	C-3
PARCEL NUMBER	0521030006005000
SECTION, TOWNSHIP, AND RANGE	S-21, T-47, R-2
ADJACENT ZONING	C-3

SITE CALCULATIONS	
TOTAL SITE AREA	5.18 ACRES
TOTAL IMPERVIOUS AREA	3.55 ACRES
TOTAL PERVIOUS AREA	1.63 ACRES
PERCENT OPEN SPACE	31%
USAGE	RETAIL

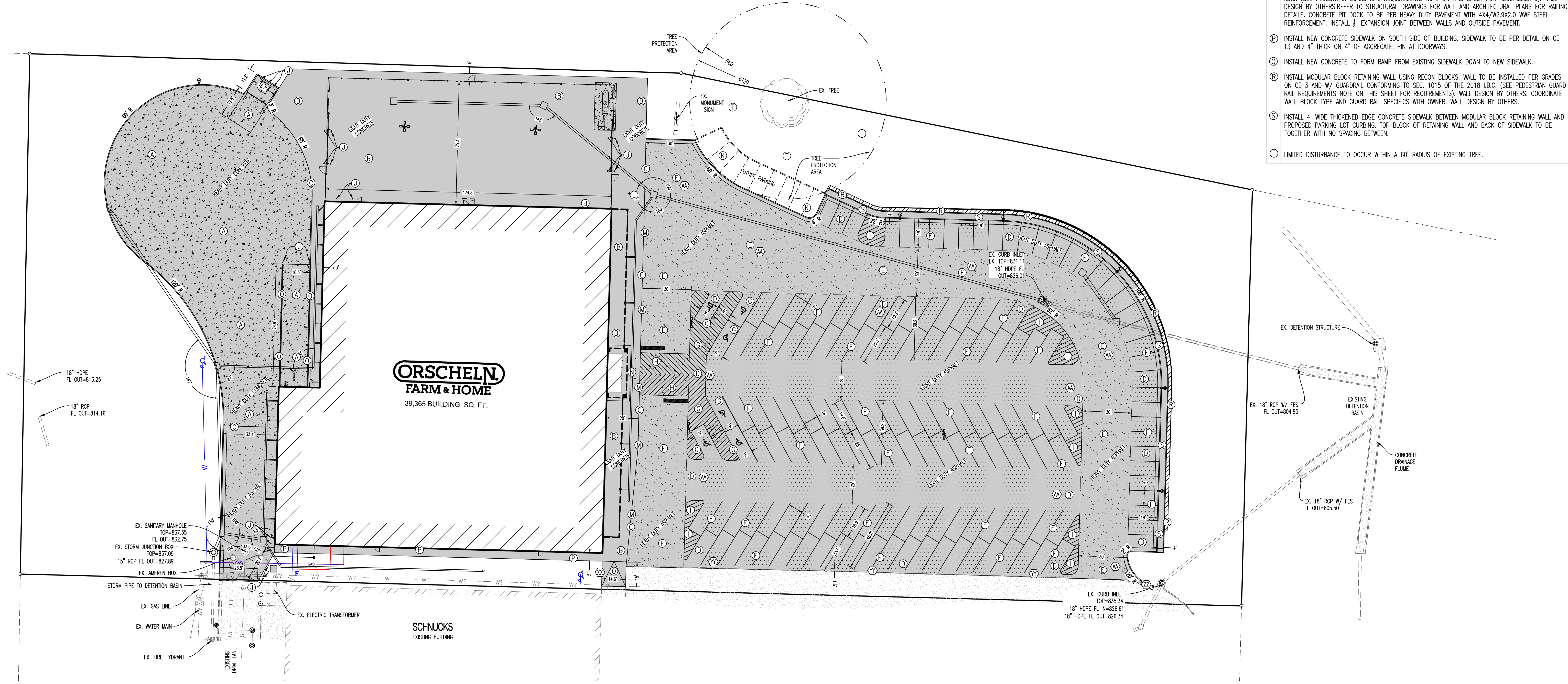
DEMOLITION NOTES	
(XX)	REMOVE EXISTING CONCRETE SIDEWALK TO INSTALL NEW SIDEWALK.
(YY)	REMOVE EXISTING GRAVEL WITHIN PROPOSED AREA OF NEW PARKING LOT DURING GRADING.
(ZZ)	SAWCUT AND REMOVE PAVEMENT AND CURBING FOR NEW PARKING LOT TIE IN.

CALCULATIONS:	
<b>PARKING SUMMARY:</b>	
SPACES REQUIRED:	
USE - RETAIL	
ONE (1) PARKING SPACE FOR EACH TWO HUNDRED FIFTY (250) SQUARE FEET FOR BUILDINGS < 49,999 SQUARE FEET	
ADA ACCESSIBLE SPACES REQUIRED:	39,365/250 = 158 SPACES REQUIRED
	6 SPACE(1 VAN)
TOTAL SPACES PROVIDED:	160 SPACES
ADA ACCESSIBLE SPACES PROVIDED:	6 SPACE(1 VAN)
FUTURE PARKING SPACES:	9 ADDITIONAL SPACE

ALTERNATE #1	
(AA)	INSTALL NORMAL DUTY CONCRETE PAVEMENT IN LIEU OF ASPHALT WITH CONCRETE CURB AND GUTTER WITHIN PARKING LOT AND DRIVE LANES. REFER TO DETAIL ON CE 12.

- PEDESTRIAN GUARD RAIL REQUIREMENTS NOTE:**
- SHALL BE 42" TALL ABOVE ADJACENT WALKING SURFACE.
  - SHALL NOT HAVE OPENINGS LARGE ENOUGH TO PASS A 4" SPHERE.
  - MAIN RAILS SHALL RESIST 50 POUND PER LINEAL FOOT LATERALLY AT THE TOP RAIL OR 200 POUNDS CONCENTRATED LOAD LATERALLY.
  - INTERMEDIATE RAILS SHALL RESIST A CONCENTRATED LOAD OF 50 POUNDS LATERALLY.

- LEGEND OF LABELS**
- INSTALL HEAVY CONCRETE PAVEMENT IN CUL-DE-SAC, TRUCK PIT DOCK AND DUMPSTER AREA. REFER TO HEAVY DUTY CONCRETE PAVEMENT DETAIL ON SHEET CE 12.
  - INSTALL LIGHT DUTY CONCRETE PAVEMENT THROUGHOUT OUTDOOR SALES AREA AND ADJACENT SIDEWALK LOCATIONS. REFER TO LIGHT DUTY CONCRETE PAVEMENT DETAIL ON SHEET CE 12.
  - CONCRETE SIDEWALK AND REAR CONCRETE PAVEMENT TO BE FLUSH WITH ASPHALT PARKING LOT WITH NO TRANSITION STEP/CURB. REFER TO SIDEWALK PAVEMENT DETAIL ON SHEET CE 12.
  - INSTALL LIGHT DUTY ASPHALT PAVEMENT WITH CONCRETE CURB AND GUTTERING WITHIN PARKING LOT AND DRIVE LANES. REFER TO DETAIL ON SHEET CE 12.
  - INSTALL HEAVY DUTY ASPHALT PAVEMENT WITH 30" CONCRETE CURB AND GUTTERING WITHIN PARKING LOT DRIVE LANES. REFER TO DETAIL ON SHEET CE 12.
  - PAINT 4" PARKING STALL STRIPES AS SHOWN, COLOR WHITE. TYPICAL FOR ALL STALLS EXCEPT ADA ACCESSIBLE STALLS. REFER TO PLAN FOR WIDTH AND DEPTH OF STALLS.
  - PAINT 4" STRIPE AND ACCESSIBLE SYMBOL, COLOR BLUE. PAINT HATCH AREA AS SHOWN, COLOR BLUE. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE STALLS SHALL NOT EXCEED 1:50 WHEN OVERLAID. ALL ACCESSIBLE SPACES TO HAVE ADA SIGNAGE INSTALLED WITHIN BOLLARD. REFER TO DETAILS ON SHEET CE 13.
  - PAINT HATCHED WALKWAY WITH 4" STRIPES, REFER TO PLAN FOR WIDTH, COLOR BLUE.
  - PAINT HATCHED AREAS FOR NO PARKING WITH 4" STRIPES, COLOR WHITE.
  - INSTALL 6" BOLLARDS AS SHOWN (19) REQUIRED. REFER TO DETAIL ON CE 13. PAINT SAFETY YELLOW.
  - AREA RESERVED FOR FUTURE PARKING SPACES AS SHOWN. NO WORK TO OCCUR WITHIN THIS AREA DURING THIS PHASE.
  - INSTALL FLAG POLE WITHIN CONCRETE AREA TO THE SOUTHEAST OF THE FENCED IN OUTDOOR SALES AREA. SEE DETAIL ON SHEET CE 14. REFER TO ARCHITECTURAL DRAWINGS FOR POLE TYPE AND MEP PLANS FOR LIGHTING DESIGN.
  - PAINT 6" THICK WHITE STRIPE DOWN AND ALONG FRONT OF BUILDING WHERE ASPHALT AND CONCRETE JOIN.
  - INSTALL (4) 6" BOLLARDS AT 6' APART. CONTRACTOR TO VERIFY BOLLARDS ARE CENTERED, LEAVING A 6-FOOT OPENING AT DOUBLE SLIDING DOORS. REFER TO BOLLARD DETAIL ON CE 11. THESE BOLLARDS TO HAVE VINYL COVERING, TO BE SUPPLIED BY ORSCHELN FARM & HOME.
  - INSTALL RETAINING WALLS ON BOTH SIDES OF TRUCK DOCK CREATING CONCRETE SIDEWALK TO THE ACCESS DOCK MAN DOOR ON THE EAST SIDE PER ELEVATIONS SHOWN ON SHEET CE 2 & 3. RETAINING WALLS TO FORM CURBING ON WEST SIDE ABOVE HEAVY DUTY CONCRETE PAVEMENT AND TO BE FLUSH WITH TOP OF PAVEMENT ON THE EAST SIDE. INSTALL GUARD RAIL ENTIRE LENGTH OF THE DOCK WALL ON TOP OF CURBING/TOP OF WALL. PEDESTRIAN GUARDRAIL CONFORMING TO SEC. 1015 OF THE 2018 I.B.C. (SEE PEDESTRIAN GUARD RAIL REQUIREMENTS NOTE ON THIS SHEET FOR REQUIREMENTS). WALL DESIGN BY OTHERS. REFER TO STRUCTURAL DRAWINGS FOR WALL AND ARCHITECTURAL PLANS FOR RAILING DETAILS. CONCRETE PIT DOCK TO BE PER HEAVY DUTY PAVEMENT WITH 4X4/W2.9X2.0 WWF STEEL REINFORCEMENT. INSTALL 1/2" EXPANSION JOINT BETWEEN WALLS AND OUTSIDE PAVEMENT.
  - INSTALL NEW CONCRETE SIDEWALK ON SOUTH SIDE OF BUILDING. SIDEWALK TO BE PER DETAIL ON CE 13 AND 4" THICK ON 4" OF AGGREGATE. PIN AT DOORWAYS.
  - INSTALL NEW CONCRETE TO FORM RAMP FROM EXISTING SIDEWALK DOWN TO NEW SIDEWALK.
  - INSTALL MODULAR BLOCK RETAINING WALL USING RECON BLOCKS. WALL TO BE INSTALLED PER GRADES ON CE 3 AND W/ GUARDRAIL CONFORMING TO SEC. 1015 OF THE 2018 I.B.C. (SEE PEDESTRIAN GUARD RAIL REQUIREMENTS NOTE ON THIS SHEET FOR REQUIREMENTS). WALL DESIGN BY OTHERS. COORDINATE WALL BLOCK TYPE AND GUARD RAIL SPECIFICS WITH OWNER. WALL DESIGN BY OTHERS.
  - INSTALL 4" WIDE THICKENED EDGE CONCRETE SIDEWALK BETWEEN MODULAR BLOCK RETAINING WALL AND PROPOSED PARKING LOT CURBING. TOP BLOCK OF RETAINING WALL AND BACK OF SIDEWALK TO BE TOGETHER WITH NO SPACING BETWEEN.
  - LIMITED DISTURBANCE TO OCCUR WITHIN A 60' RADIUS OF EXISTING TREE.



**REVISIONS:**

NO.	DATE
PERMIT SET	09/20/2022

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY.

**PRELIMINARY (NOT FOR CONSTRUCTION)**

KYLER MILLER  
MO LICENSE 20109003

**PREPARED BY:**  
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Crockett Engineering Consultants, LLC  
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#20091001

**OWNER:**  
**ORSCHELN FARM & HOME**  
ORSCHELN PROPERTIES COLLC  
153 REILEY INDUSTRIAL DR  
PO BOX 676  
MOBERLY, MO 65270

**DRAWING INCLUDES:**

SITE PLAN

**DESIGNED:** KRM  
**DRAWN:** KRM  
**PROJECT NO:** 220149  
**SHEET:** CE 5